



# **AGENDA**

## **DESIGN REVIEW COMMITTEE**

**January 5, 2017**

**5:30 p.m.**

**2<sup>nd</sup> Floor Council Chambers**

**1095 Duane Street • Astoria OR 97103**

1. CALL TO ORDER
2. ELECTION OF OFFICERS
  - a. In accordance with Sections 1.110 and 1.115 of the Astoria Development Code, the DRC needs to elect officers for 2017. The 2016 officers were President Jared Rickenbach, Vice President LJ Gunderson, and Secretary Sherri Williams.
3. ROLL CALL
4. MINUTES
  - a. August 4, 2016
5. PUBLIC HEARINGS
  - a. Design Review DR16-03 by Barbara A Bower to construct a new 6,350 square foot single family dwelling at 2405 Mill Pond within the Gateway Area in the AH-MP, AttachedHousing-Mill Pond zone.
6. STATUS REPORTS
  - a. Planner Ferber will report on 250 Roundhouse Road.
7. REPORT OF OFFICERS
8. PUBLIC COMMENTS (Non-Agenda Items)
9. ADJOURNMENT

**THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER  
FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS  
OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY  
DEVELOPMENT DEPARTMENT, 503-338-5183.**

## **DESIGN REVIEW COMMITTEE**

**Astoria City Hall**

August 4, 2016

### CALL TO ORDER:

Vice President Gunderson called the meeting to order at 5:31 pm.

### ROLL CALL – ITEM 2:

Commissioners Present: Vice President LJ Gunderson, Derith Andrew, LeAnn Hemsley, and Hilarie Phelps.

Commissioners Excused: President Jared Rickenbach

Staff Present: Planner Nancy Ferber. The meeting is recorded and will be transcribed by ABC Transcription Services, Inc.

### APPROVAL OF MINUTES – ITEM 3:

Vice President Gunderson called for approval of the minutes of the May 5, 2016 meeting. Commissioner Andrew noted her name had been misspelled with an "s" on the end.

Commissioner Andrew moved to approve the May 5, 2016 minutes as corrected; seconded by Commissioner Phelps. Motion passed unanimously.

Vice President Gunderson welcomed new member LeAnn Hemsley.

### PUBLIC HEARINGS:

Vice President Gunderson explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were available from Staff.

### ITEM 4(a):

DR16-02 Design Review DR16-02 by Jorge A. Vazquez of Pelayos to allow a tent canopy for covered seating adjacent to the food vending truck in the parking lot of the gas station at 1701 Marine Drive within the Gateway Area in the FA, Family Activities zone.

Vice President Gunderson stated that the Commissioners and Planner Ferber were the only people present. With no Applicant or audience members present, she opened and closed public testimony then called for a presentation of the Staff report.

Planner Ferber reviewed the Findings and Conditions contained in the Staff report. No correspondence had been received and Staff recommended approval with conditions.

Commissioner Andrew moved the Astoria Design Review Committee adopt the Findings and Conclusions stated in the Staff report and approve Design Review DR16-02 by Jorge A. Vazquez with conditions; seconded by Commissioner Phelps. Motion passed unanimously. Ayes: Vice President Gunderson, Commissioners Andrew, Phelps, and Hemsley. Nays: None.

Vice President Gunderson read the rules of appeal into the record.

### REPORTS OF OFFICERS/COMMISSIONERS – ITEM 5:

Planner Ferber noted the September meeting had been cancelled because there were no applications for the Commission to review. The cancer clinic project reviewed at the last meeting was moving forward and designs

had been submitted to Staff regarding the pedestrian orientation condition of approval. She was working with the Applicant to get an improved façade orientation. She confirmed the Committee's concerns had been addressed.

PUBLIC COMMENTS – ITEM 6:

There were none.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 5:39 pm.

**APPROVED:**

---

Community Development Director

DRAFT



December 27, 2016

TO: Design Review Committee

FROM: Nancy Ferber, City Planner

SUBJECT: Resubmittal DR13-01 by Barbara Bower for DR 16-03 at 2405 Mill Pond Lane

### **BACKGROUND**

On June 6, 2013 the Design Review Committee approved construction of a single family dwelling on the two platted lots at 2405 Mill Pond Lane in Order No. DR 13-01. The applicant chose not to pursue construction within the two years this permit was active. Substantial construction or use must begin within two years or permits expire.

The applicant submitted DR16-03 November 17, 2016 for review. No changes to the design, materials, or footprint have been proposed. The original application materials and staff findings of fact are included in your packet for review.

### **PUBLIC REVIEW AND COMMENT**

The original public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 10, 2013. A notice of public hearing was published in the *Daily Astorian* on May 30, 2013. Any comments received were made available at the Design Review Committee (DRC) meeting.

A new public notice was mailed to all property owners within 200 feet pursuant to Section 9.020 on December 9, 2016. A notice of public hearing was published in the *Daily Astorian* on December 29, 2016. Any comments received will be made available at the Design Review Committee (DRC) meeting.

### **RECOMMENDATION**

It is recommended that the Design Review Committee approve the proposal and adopt the previously approved findings of fact with one additional condition of approval:

Should the studio space above the garage include a kitchen in the future, the applicant shall submit for an Accessory Dwelling Unit permit from the Community Development department, and may be required to provide an additional off-street parking space should the studio space be used as an ADU.

By:

  
\_\_\_\_\_  
Nancy Ferber, Planner

## STAFF REPORT AND FINDINGS OF FACT

May 28, 2013

TO: Design Review Committee

FROM: Rosemary Johnson, Planner

SUBJECT: Design Review Request (DR13-01) by Michael Barclay for Barbara Bower to construct a single-family dwelling at 2405 Mill Pond Lane

12-27-16  
Hans Fisher

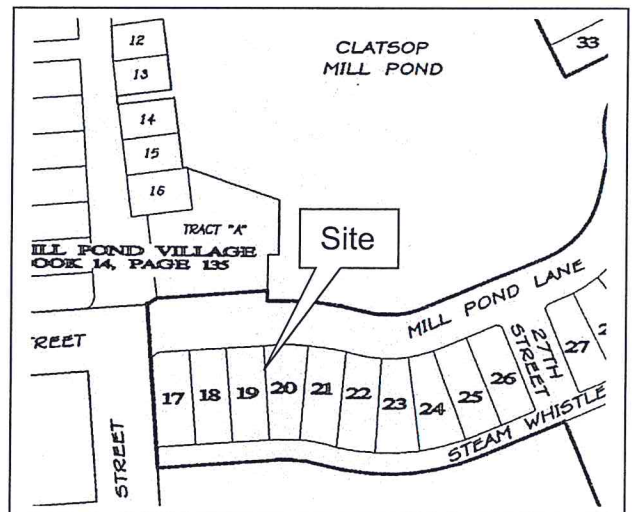
### I. BACKGROUND SUMMARY

- A. Applicant: Michael Barclay  
Barclay Home Designs  
12700 SE Hwy 212  
Clackamas OR 97015
- B. Owner: Barbara A Bower  
2410 Aurora Ave N Apt 108  
Seattle WA 98109-2268
- C. Location: 2405 Mill Pond Lane; Map T8N-R9W Section 9CB, Tax Lots 6847 & 6848; Lots 19 & 20, Mill Pond Village 2.
- D. Zone: AH-MP (Attached Housing-Mill Pond)
- E. Proposal: To construct an approximate 5,523 square foot, 2 story, single-family dwelling with garage

### II. BACKGROUND

#### Site:

The site is located on the south side of Mill Pond Lane just east of 23rd Street. Lot #19 is approximately 35' wide by 90' deep (3,150 square feet) and Lot #20 is approximately 28'/35' wide by 90' deep (3,200 square feet) for a total lot area of 6,350 square feet. The lots are bounded and also accessed on the south by Steam Whistle Way.



The Mill Pond Subdivision development was approved with special conditions concerning the required setbacks relative to Building Codes. The requirement is that one side could have a zero setback while the other side yard has a mandatory 6' setback with no encroachments. The plans show a 6' setback on the west elevation. The plans do not show any exterior mechanical equipment which would need to comply with the setback requirement. The applicant has submitted a request for a Lot Line Adjustment (LLA11-04) to combine Lots 19 & 20 into one buildable lot. The LLA11-04 was approved by the City but also requires the approval of the Mill Pond Home Owners' Association.

#### Proposed Construction:

The applicant has submitted plans for review and approval of the design to the Mill Pond Village Architectural Review Committee. Their review is pending.

Style: 2 story, single family-dwelling with garage

Roof: Gable roof, 5:12 pitch; composition shingle

Siding: Cedar shingles on all elevations with 10" beveled cedar horizontal siding on left elevation and portions of front and rear elevation; 5/4 x 4" corner boards; layered cornice between first and second floors

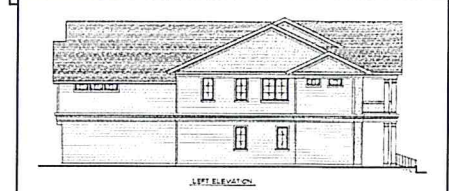
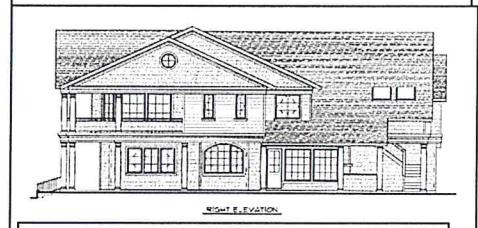
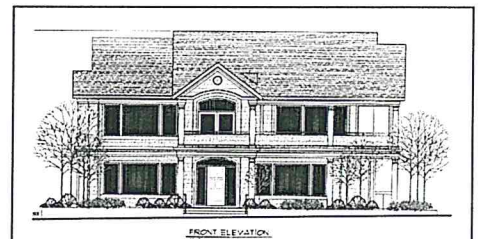
Windows: Mostly vertical, clad wood with external muntins; windows vary on each elevation:

Front: large center picture windows with simulated divided lites above and flanked by simulated eight lite side windows on first and second floor; arched transom with sidelites at main entry door; arched transom above French doors on second story balcony

Right Side: 4x4 multi-lite windows on ground floor; single, paired, and set of three, six lite windows on first and second floors; arched set of three eight lite windows on first floor; round window in gable end

Left Side: single and paired six lite windows on first and second floor; several horizontal windows at eave

Rear: multi-lite Palladian window over garage; arched eight lite over single lite window between the first and second floor; round window in gable end; single window on first floor with simulated divided lites above



Windows are fixed and casement. Window and door exterior casings proposed to be 5/4" x 4" or larger and have lower sills

Doors: Wood panel front door with side lites and transom; wood French doors on balcony; multi-lite panel door on right side. Garage door will be wood with upper lites. All lites will be true divided or have external muntins.

Other Design Elements: corner boards of 5/4 x 4" or larger; layered cornice between first and second floor; eave brackets over garage door; support columns with crown and base; recessed and covered porches/balconies; outdoor fireplace on front balcony; outdoor fireplace on southwest corner (rear) first floor porch

Garage: South, rear facing garage; door will be wood panel door with upper lites. All lites will be true divided or have external muntins

Light Fixtures: Lights proposed on porches and balcony, outdoor living areas. Details are not available but proposed fixtures would be up/down diffused lighting.

### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 10, 2013. A notice of public hearing was published in the Daily Astorian on May 30, 2013. Any comments received will be made available at the Design Review Committee (DRC) meeting.

### IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 14.015(A) states that in addition to conformance with the specific uses and standards of the individual zones, the following zones shall conform to the general regulations of the Gateway Overlay Zone in Sections 14.005 through 14.030. 1) Maritime Heritage; 2) Family Activities; 3) Attached Housing-Health Care; 4) Health Care; 5) Education/Research/ Health Care Campus; 6) Hospitality/Recreation; 7) Local Service; and 8) Attached Housing-Mill Pond.

Finding: The site of the proposed single-family dwelling is located in the Attached Housing-Mill Pond Zone (AH-MP) and shall conform to Sections 14.005 through 14.030 of the Development Code. This criteria is met.

- B. Section 14.015(B) requires that each public or private development proposal within the Gateway Overlay Zone will be reviewed for consistency with the Design Review Guidelines in Sections 14.020 through 14.030.

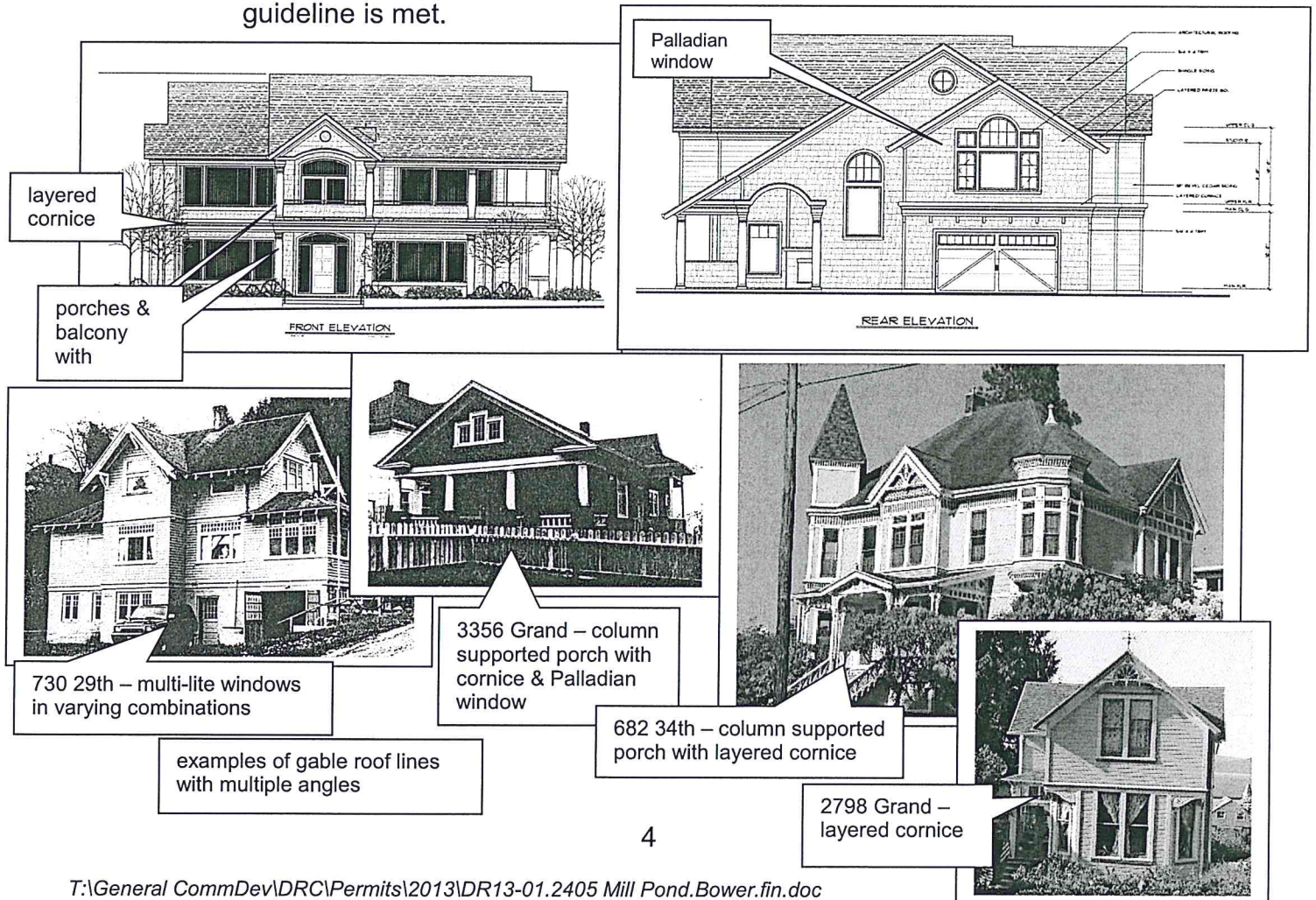
Finding: The proposed single-family dwelling is a private development to be constructed within the Gateway Overlay Zone and as such will be reviewed for consistency with the Design Review Guidelines. This criteria is met.

- C. Section 14.020 states that the Design Review Guidelines shall apply to all new construction or major renovation. The guidelines are intended to provide fundamental principles that will assist in the review of the proposed development. The principles identify both “encouraged” and “discouraged” architectural elements. They are broad design objectives and are not to be construed as prescriptive standards.

Finding: The structure is “new construction” and as such is subject to the Design Review Guidelines. This criteria is met.

- D. Section 14.025(A) describes the purpose of the Design Review Guidelines and states that the Gateway Plan encourages new construction to reflect building types found in the Uppertown area. Three historic building types commonly found in the area include waterfront industrial, commercial, and residential.

Finding: The structure reflects residential types found in the Uppertown area. It has a 5:12 pitch gable roof, simulated multi-lite windows, and front porch with column supported second story balcony/porch. The horizontal siding and shingle siding are typically found in Astoria. There are decorative eave barge boards, a layered cornice between floors, and corner boards. The rear elevation facing 29th Street has a garage door with eave brackets, and a Palladian window. These are features commonly found in Astoria. This guideline is met.



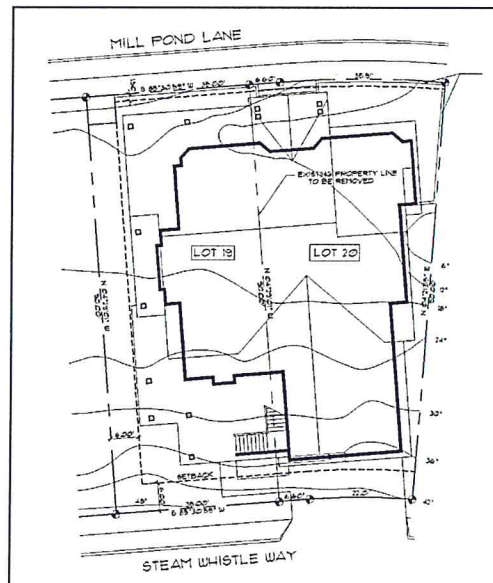
E. Section 14.025(B) identifies the building forms encouraged.

1. All Building Types: a) Simple designs without extraneous details; b) Rectangular in plan; c) Square in plan.
2. Waterfront Industrial: a) Low in form; b) Cubic in form.
3. Commercial: a) Low in form.
4. Residential: a) Vertical in form; b) Cubic in form; c) Full front porch or front porch large enough to accommodate several seated persons.

Section 14.025(C) identifies the building forms discouraged.

1. All Building Types: a) Complex building footprints; b) Sprawling structures.

Finding: The house will be generally square in plan. The building footprint is not complex, nor is it sprawling. The building has a full front and wrap around side porch and is capable of accommodating several persons. The west side elevation will have a 6' setback as required.



F. Section 14.025(D) identifies the windows encouraged.

1. All Building Types: a) True-divided, multiple-light windows; b) Single-light windows; c) Applied muntins with profile facing window exterior; d) Rectangular windows with vertical proportions; e) Fixed windows; f) Double or single-hung windows; g) Casement windows; h) Windows should be spaced and sized so that wall area is not exceeded by window area, with the exception of commercial storefronts.
2. Waterfront Industrial: a) Square or rectangular windows with multiple lights.
3. Commercial: a) Storefronts: 1) Plate glass windows with multiple-light transom windows above; 2) Recessed entries; 3) Window to wall surface

proportions may be exceeded; b) Upper Stories: 1) Window area should not exceed wall area.

4. Residential: a) Vertical rectangle or square windows; b) Combination of single and multiple-light windows; c) Single windows, paired windows, or windows grouped in threes; d) Bay windows; e) Arched or decorative shaped windows used sparingly; f) Windows should use casings and crown moldings.

Section 14.025(E) identifies windows discouraged.

1. All Building Types: a) Applied muntins which have no profile; b) Smoked glass; c) Mirrored glass; d) Horizontal sliding windows; e) Walls predominated by large expanses of glass, except in commercial storefronts; f) Windowless walls. Large expanses of blank walls should only be located in areas which are not visible to the public; g) Aluminum frame windows, except in commercial storefronts.

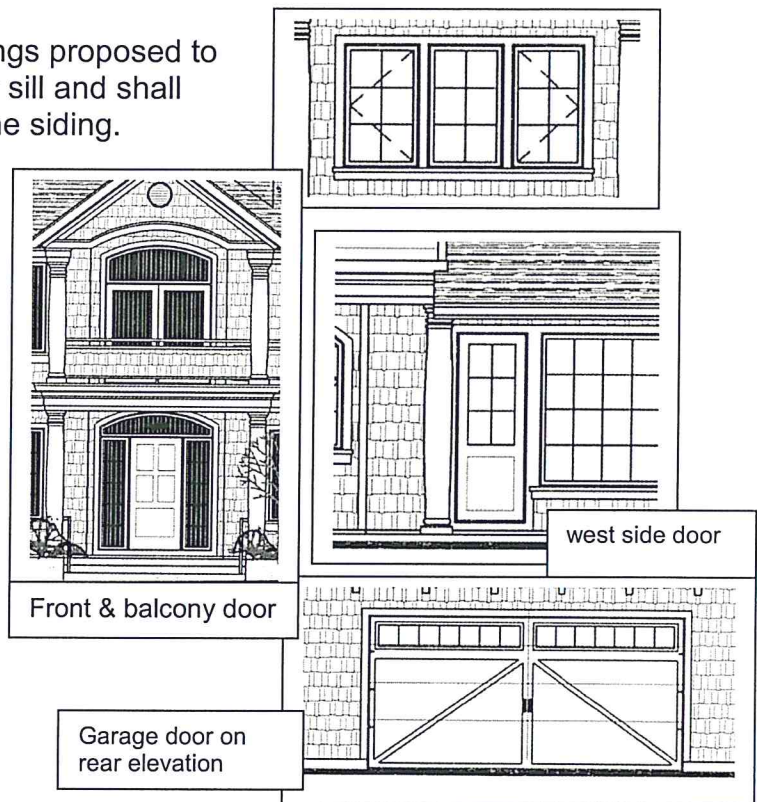
Finding: All windows are of clad wood and are fixed or casement. The windows are rectangular and vertical, paired, single, and sets of three. There are a variety of window designs including simulated multi-lite, large single lite, round, and a Palladian window. All lites will need to be true divided or have external muntins. Windows should be inset from the plane of the facade. There are no blank walls.



Window and door exterior casings proposed to be 5/4" x 4" or larger with lower sill and shall protrude beyond the plane of the siding.

The front door would be a wood panel door with side lites and transom; wood French doors on balcony; multi-lite panel door on right side. Garage door would be wood with upper lites. All lites will be true divided or have external muntins.

The window divisions are proposed to have exterior muntins. The front elevation has four large areas of windows for approximately 34% of the facade. Window area does not exceed wall area. This guideline is met.



G. Section 14.025(F) identifies exterior wall treatments encouraged.

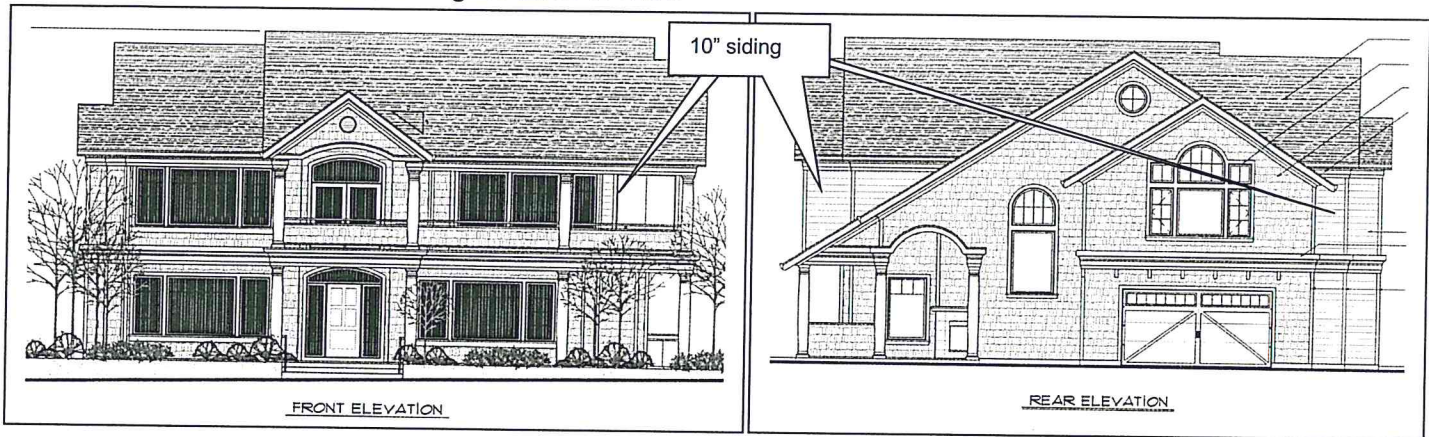
1. All Building Types: a) Drop siding; b) Weatherboard siding; c) Horizontal siding with six inches or less exposure.
2. Waterfront Industrial: a) Board and batten style; b) Galvanized corrugated metal.
3. Commercial: a) Finished concrete; b) Brick veneer.
4. Residential: a) Clapboard; b) Wood shingle (rectangular); c) Decorative wood shingle.

Section 14.025(G) identifies exterior wall treatments discouraged.

1. All Building Types: a) Exposed textured, concrete block; b) Flagstone or other applied stone products; c) Precast concrete or decorative concrete panels; d) Wood shakes; e) Plywood paneling.

Finding: The structure is proposed to be clad in cedar shingles and 10" horizontal beveled cedar siding. The exposure is encouraged to be 6" or less, however the majority of the horizontal siding is proposed on the left, east side adjacent to another structure and would not be highly visible. Small areas of horizontal siding are visible on the front and rear elevations. The larger

exposure would be acceptable. Mill Pond Village Architectural Guidelines (MPVAG) require a maximum of 5.5" exposure, so the proposed exposure would need to be reviewed and approved by the MPVAG or reduced. In balance, this guideline is met.



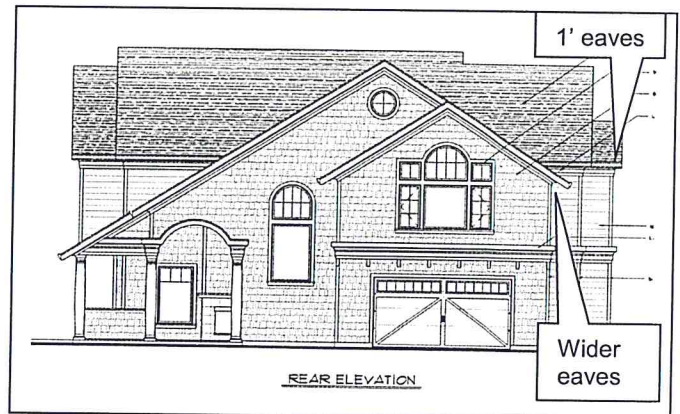
H. Section 14.025(H) identifies the roof elements encouraged.

1. Waterfront Industrial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves; d) Small shed roof dormers; e) Monitor roof on ridge line; f) Flat panel skylights or roof window.
2. Commercial: a) Single gable with low pitch; b) Repetitive gable with steep pitch; c) Shallow eaves behind parapet wall; d) Flat or gable roof behind parapet wall; e) Structural skylights.
3. Residential: a) Steep gable with broad eaves; b) Steep hip with broad eaves; c) Dormers with gable, hip, or shed roofs; d) Flat panel skylights or roof window on secondary elevations; e) Turrets or large projecting window bays used sparingly.

Section 14.025 (I) identifies the roofing elements discouraged.

1. All Building Types: a) False mansard or other applied forms; b) Dome skylights.

Finding: Eaves including gutters are proposed on all elevations of the house with an approximate 1' eave overhang on most roof areas with deeper eaves on the gabled ends. The gable roof would be a 5/12 pitch. The residential design generally calls for a deeper eave, but shallower eaves have been approved. In balance, this guideline is met.



I. Section 14.025(J) identifies roofing materials encouraged.

1. All Building Types: a) Cedar shingle; b) Composition roofing; c) Roofing material in gray, brown, black, deep red, or other subdued colors.
2. Waterfront Industrial: a) Galvanized corrugated metal; b) Low profile standing seam, metal roof; c) Roll down.
3. Commercial: a) Built-up.

Section 14.025(K) identifies roofing materials discouraged.

1. All Building Types: a) High profile standing seam, metal roof; b) Brightly colored roofing material.

Finding: The roofing material proposed is architectural composition roof shingles. The color has not been selected but shall be a subdued color. The final color would be reviewed and approved by the Planner at the time of the building permit. This guideline is met.

J. Section 14.025(L) identifies signs encouraged.

1. All Building Types: a) Hanging blade signs; b) Signs painted on building facade; c) Signs applied to building facade; d) Front lit; e) Graphics historic in character.
2. Commercial: a) Exterior neon.

Section 14.025(M) identifies signs discouraged.

1. All Building Types: a) Pole mounted freestanding signs; b) Plastic or internal and back lit plastic.

Finding: No signs are proposed for the site. This guideline does not apply.

K. Section 14.025(N) identifies exterior lighting encouraged.

1. All Building Types: a) Decorative lighting integrated with architecture; b) Metal halide or incandescent; c) Pedestrian and traffic signals combined with street lamps; d) Light fixtures that direct light downward and eliminate glare.
2. Waterfront Industrial: a) Industrial pan light with goose neck; b) Low bollard lighting.
3. Commercial: a) Historic street lamps along walks and parking lots.

Section 14.025(O) identifies exterior lighting discouraged.

1. All Building Types: a) Sodium vapor (amber); b) Fluorescent tube; c) Cobra head street lamps or other contemporary fixtures; d) Fixtures with undiffused, undirected light that do not focus the light to the ground and that will potentially destroy the night sky view.

Finding: Exterior light fixtures are proposed on porches and balcony, and outdoor living areas. Details are not available but it is proposed with some up/down diffused lighting. The project light fixtures shall be chosen from the approved Mill Pond Village lighting list and shall not include any of the discouraged exterior lighting types. This guideline is met.

L. Section 14.025(P) identifies other design elements encouraged.

1. Commercial: a) Canvas awnings or fixed canopies for rain protection.

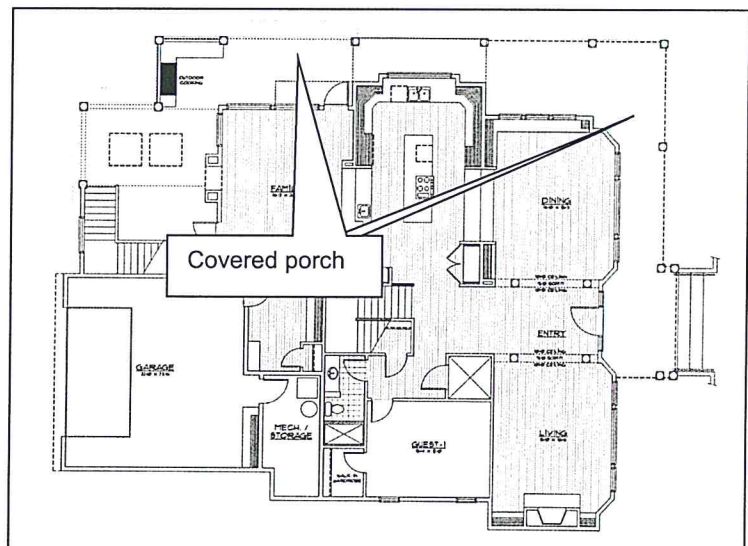
Section 14.025(Q) identifies other design elements discouraged.

2. Commercial: a) Vinyl awnings; b) Back lit awnings.

Finding: No awnings or canopies are proposed for this structure. This guideline does not apply.

M. Section 14.030(A)(1) concerning building orientation states that development projects should form visually continuous, pedestrian-oriented street fronts with no vehicle use area between building faces and the street. Exceptions to this requirement may be allowed to form an outdoor space such as a plaza, courtyard, patio, or garden between a building and a sidewalk. Such a larger front yard area should have landscaping, low walls, fencing, railings, a tree canopy, or other site improvements.

Finding: The proposed project fronts onto Mill Pond Lane. The residential building is placed close to the sidewalk which creates an intimate relationship to the streetscape and surrounding development. The south rear elevation fronts on Steam Whistle Way. There is a large wrap around porch with outdoor living space. This criteria is met.

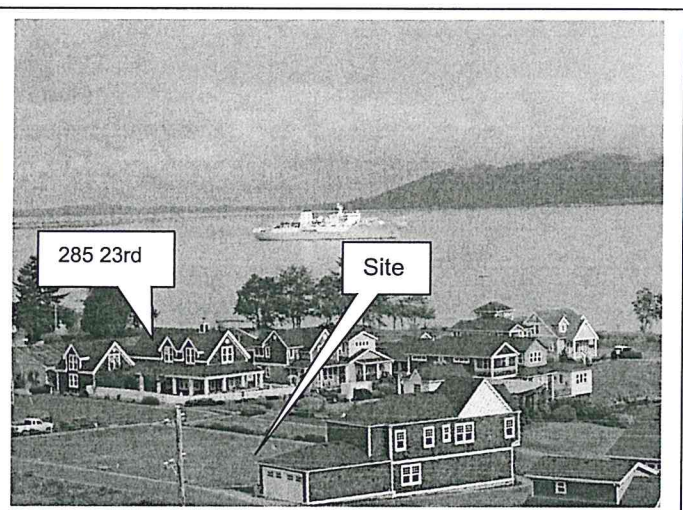


- N. Section 14.030(A)(2) concerning building orientation states that new uses should be sited to take advantage of the Columbia River and hillside views.

Finding: The siting and design of the proposed project primarily takes advantage of the Columbia River view. This criteria is met.

- O. Section 14.030(A)(3) concerning building orientation states that if the proposed project is large or situated so as to become an entrance or major focus of the City, the design should recognize the project's prominence and should be both compatible with its surroundings and complementary to the City as a whole.

Finding: The proposed project is larger than most of the other residential buildings. It will be close in size to the house at 285 23rd Street located across the Mill Pond and 23rd Street rights-of-way. The front of the structure may be visible from the City River Trail and will have a variety of form and texture similar to other structures in the residential areas of Astoria. Steam Whistle Way is the roadway that separates the residences from the larger commercial lots that front on Marine Drive. The proposed project will be compatible with its surroundings. This criteria is met.



- P. Section 14.030(B)(1) concerning building massing states that buildings should have a floor area ratio on their lots of at least 1:1 (One square foot of building area for one square foot of lot area), in order to maximize use of the land.

Section 14.300 concerning the Purpose of the AH-MP Zone (Attached Housing-Mill Pond) states that *"Residential development shall have a minimum density of 18 units per net acre."*

Finding: The lot area is approximately 6,350 square feet with two combined lots. The total square footage of the house including garage is approximately 5,523 square feet. The ratio is approximately 0.87:1. The building approximately meets the minimum 1:1 floor ratio.

The property owner obtained a Lot Line Adjustment approval (LLA11-04) to combine Lots 19 & 20. Only two other parcels have been combined and constructed at 285 23rd (Lots 1 & 2). Two additional lots have been approved to be combined at 2305-2355 Mill Pond (Lots 17 & 18) but have not yet been constructed. There is approximately 6.35 acres in Mill Pond and a total of 114 units is required to meet the minimum density. With the three approved "double" lots, there are 79 single-family dwelling units proposed and 106 multi-family units constructed for a total of 185 potential units. The overall density meets the minimum of 18 units per acre. The property owner will also need approval of the Mill Pond Home Owners' Association to combine lots separate from the City approval.

- Q. Section 14.030(B)(2) concerning building massing states that *"Buildings should be a minimum of 24 feet in height from grade to highest point of the structure, excluding those features exempt from building height as identified in Development Code Section 3.075."*

Section 14.335 concerning height in the AH-MP Zone states that *"No structure will exceed a height of 35 feet above grade, with exception of structures on lots with frontage on Marine Drive and on Lot 47 in Mill Pond Village Subdivision, having frontage on 29th and Waterfront Streets, which are limited to a maximum height of 45 feet above grade."*

Finding: The structure measures 35' in height, measured from grade to the highest ridge of the structure. This criteria is met.

- R. Section 14.030(B)(3) concerning building massing states that the height, mass, and scale of buildings should be compatible with the site and adjacent buildings. Use of materials should promote harmony with surrounding historic structures and the character of the waterfront.

Finding: There are one, two, and three story residential buildings in the Uppertown area. Buildings in Mill Pond Village include one, two, and 2.5 story structures. The proposed structure is 2 stories. Structures in the Uppertown area have a mixture of wood, cement, and fiber cement siding. New residences in Mill Pond have a mixture of wood and fiber cement siding. The use of cedar shingles and horizontal siding materials is characteristic of and harmonious with the buildings in the surrounding area and the character of the waterfront.

The doors are proposed to be wood and windows are proposed to be clad wood with external muntins.

The proposed project is larger than most of the other residential buildings at Mill Pond. The front of the structure would face Mill Pond Lane while the rear is on Steam Whistle Way which is the roadway that separates the residences from the larger commercial lots that front on Marine Drive. The proposed project will

be compatible in mass with its surroundings especially with its close proximity to these larger multi-family structures. This criteria is met.

V. CONCLUSION AND RECOMMENDATION

The request meets the design objectives of the Design Review Guidelines. The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building codes permits.

Any change in design or material shall be submitted to the Community Development Department for review.

Staff recommends the Design Review Committee approve the proposal with the following conditions:

1. The project light fixtures shall be chosen from the approved Mill Pond Village lighting list and shall not include any of the discouraged exterior lighting types. The final design shall be reviewed and approved by the Planner at the time of the building permit.
2. Windows and casings shall be installed so that the windows do not protrude beyond the casing; and so that the casing protrudes beyond the plane of the siding.
3. The roofing color shall be a subdued color. The final color shall be reviewed and approved by the Planner at the time of the building permit.
4. The property owner shall complete the requirements of LLA11-04 to combine the lots prior to construction.



## CITY OF ASTORIA

Founded 1811 • Incorporated 1856

## COMMUNITY DEVELOPMENT

Fee Paid Date 11-17-16 By MP Check # 5374  
 Fee: \$250.00

DR 16-03

## DESIGN REVIEW

Property Address: 2405 Hill Pond LaneLot 19+20

Block \_\_\_\_\_

Subdivision Mill Pond Village IIMap 9CBTax Lot 6847Zone AH+MPApplicant Name: Barbara A. BowerMailing Address: 2410 Aurora Ave. N., Seattle, WA. 9809Phone 206. 285. 3005Email: barb.bower@msn.comProperty Owner's Name: Barbara A. BowerMailing Address: 2410 Aurora Ave. N., Seattle, WA 98109Phone: 206. 285. 3005Email: barb.bower@msn.comSignature of Applicant: Barbara A. BowerDate: 11.15.16Signature of Property Owner: Barbara A. BowerDate: 11.15.16Proposed Construction: Single Family ResidenceSite Dimensions & Square Footage: (35' x 90') for lot 19 & (28' x 35' x 90') for lot 20 6,350 sq ftBuilding Square Footage: 1st Floor: 2220 sq ft 2nd & 3rd Floor: 2055 sq ft Garage: 665 sq ftAccessory Building Information: Studio above garage 583 sq ft, will not have a full kitchen, is not an ADU

**FILING INFORMATION:** The Design Review Committee meets on the first Thursday of the month, as needed depending on date of applications. Complete applications must be received by the 1<sup>st</sup> of the previous month. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Design Review Committee meeting is recommended.

## For office use only:

Application Complete:	<u>11-17-16</u>	Permit Info Into D-Base:	<u>11-21-16</u>
Labels Prepared:	<u>11-21-16</u>	Tentative DRC Meeting Date:	<u>11/5/17</u>
120 Days:	<u>4-18-17</u>		



Briefly address each of the Design Review Guidelines and state whether the project complies with the guideline, if applicable, and why this request should be approved. (Use additional sheets if necessary.):

1. **Building Form.**

Basic Shape: RECTANGULAR

Porches - Design, Dimension, Features: OPEN W/ COLUMNS - WRAP AROUND

Balconies - Design, Dimension, Features: OPEN COVERED 6' DEEP +

Other: WRAP AROUND 2ND FLOOR

2. **Windows.**

Material: CLAD WOOD

Divided Windows (true divided, internal muntins, external muntins, etc) EXTERNAL MUNTINS

Operation (casement, single hung, etc.) CASEMENT

Size & Material of Exterior Casings: 5/4 x 4 + 2x6 CEDAR

Other: 5/4 x 4 TRIM (CEDAR) @ RADIUS WINDOWS

3. **Exterior Wall Treatments.**

Material & Dimensions of Siding: LAYERED 2x TRIM (FREEZE BO'S)

@ GABLE ROOFS - WHITE CEDAR SHINGLE SIDING - 3/4 x 10

Decorative Features: CEDAR BEVEL SIDING - LAYERED CORNICE

DETAIL @ BALCONY + BELLY BAND

Other: PAINT GRADE PARREL STYLE COLUMNS

4. **Doors.**

Material & Design: FRONT DOOR - WOOD / PANEL PATIO-DOOR WOOD / FRENCH

GARAGE - WOOD W/ GLAZING

Other: \_\_\_\_\_

5. **Roof Elements.**

Style of Roof: GABLE

Material: ARCHITECTURAL

Color: UNKNOWN

Decorative Features (eave brackets, etc): \_\_\_\_\_

Other: \_\_\_\_\_

6. **Garage.**

Garage Door Material & Design: WOOD / FLUSH W/ GLAZING + APPLIED TRIM

Window Material & Design: \_\_\_\_\_

Roof Style & Material: MATCH HOUSE

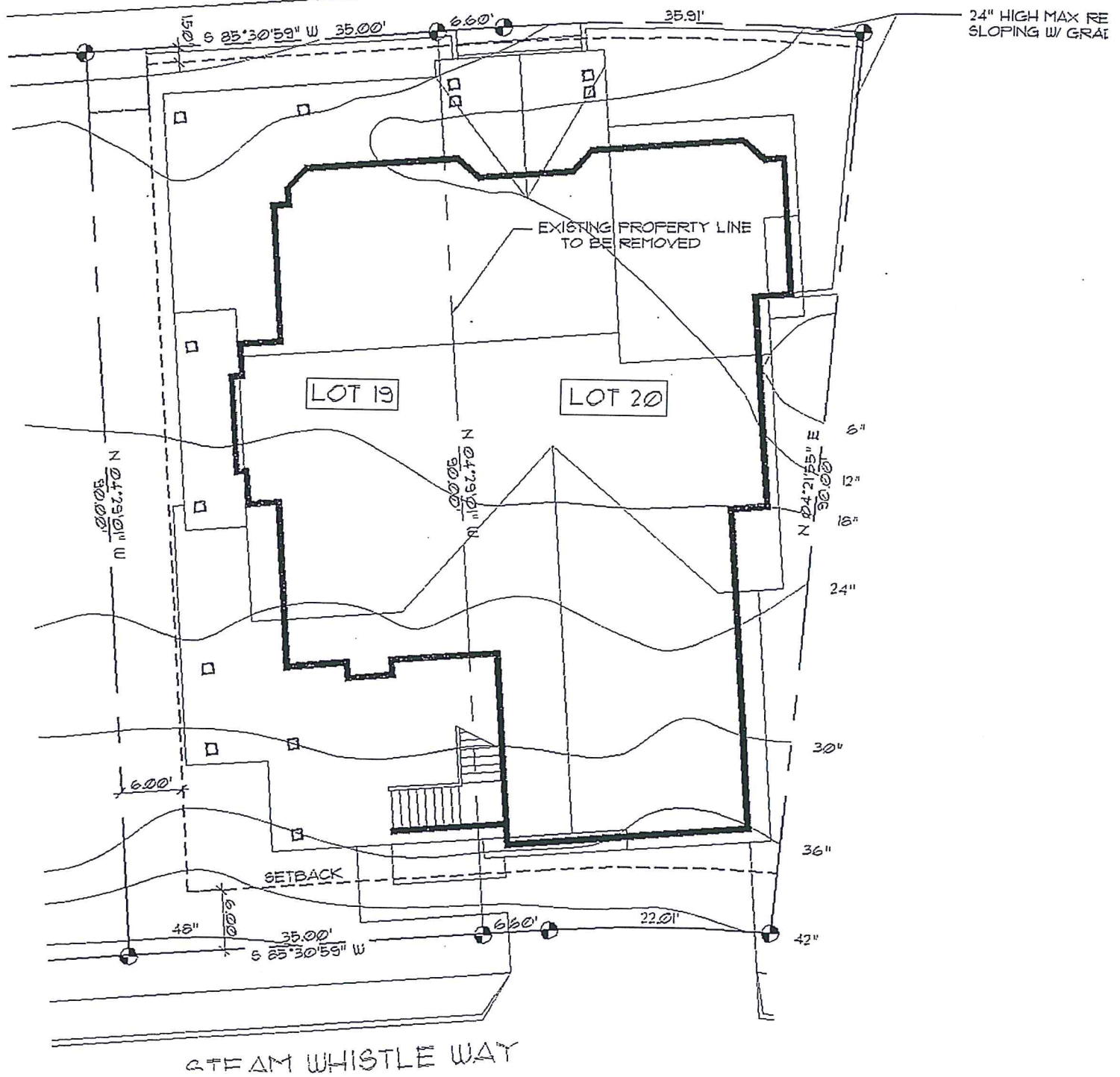
Other: \_\_\_\_\_

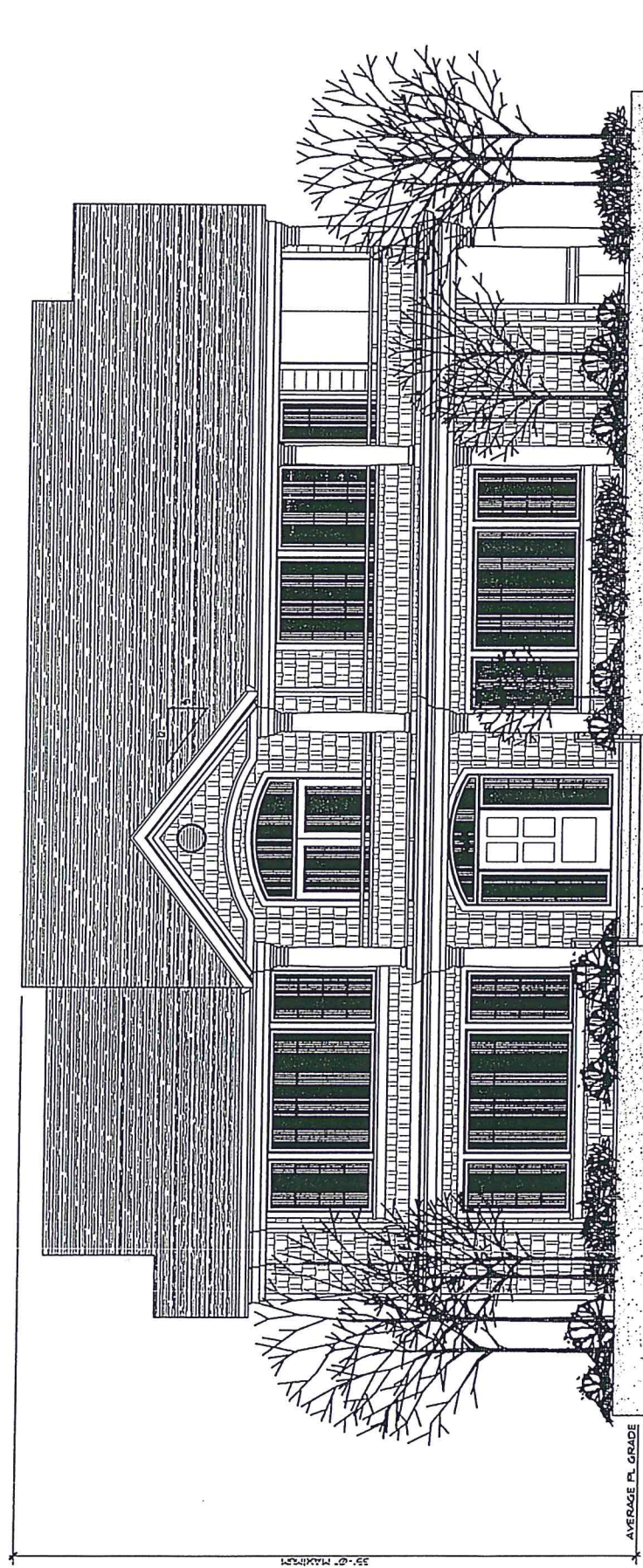
7. Signs. N/A  
 Square footage: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type & Design: \_\_\_\_\_  
 Other: \_\_\_\_\_
8. Exterior Lighting.  
 Fixture & Lamp Design: ALL EXTERIOR FIXTURES UP/DOWN OR DOWN ONLY  
 Location: PORCH / BALCONY / OUTDOOR LIVING DIFFUSED LT'G  
 Other: \_\_\_\_\_
9. Other Design Elements.  
OUTDOOR FIREPLACE - MASTER / BALCONY  
" " - FAMILY / OUTDOOR LIVING
10. Building Orientation.  
FRONT FACING NORTH (MILL POND)
11. Building Massing.  
 Building to Lot Ratio: LOT AREA 6350 #  
 Other: HOUSE FOOTPRINT EXCL. PORCH 2885 # = 45%  
" " INCL. " 4020 # 63%
12. Access and Parking Design.  
 Number of Off-street Spaces: 2 CAR COVERED ATTACHED  
 Other: REAR ACCESS
13. Landscaping.  
LANDSCAPE PLAN TO FOLLOW  
SHORT RETAINING WALL @ FRONT PROPERTY LINE  
(24" TALL TAPERING) FOR LANDSCAPING
14. Underground Utilities.  
ALL UTILITIES UNDERGROUND

**PLANS:** A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used are required. Scaled free-hand drawings are acceptable. The City may be able to provide some technical assistance on your proposal if it is adjacent to a historic structure and will require additional review by the Historic Landmarks Commission.

If submitting large format plans, please also submit a reduced copy at 11" x 17" for reproducing.

MILL POND LANE

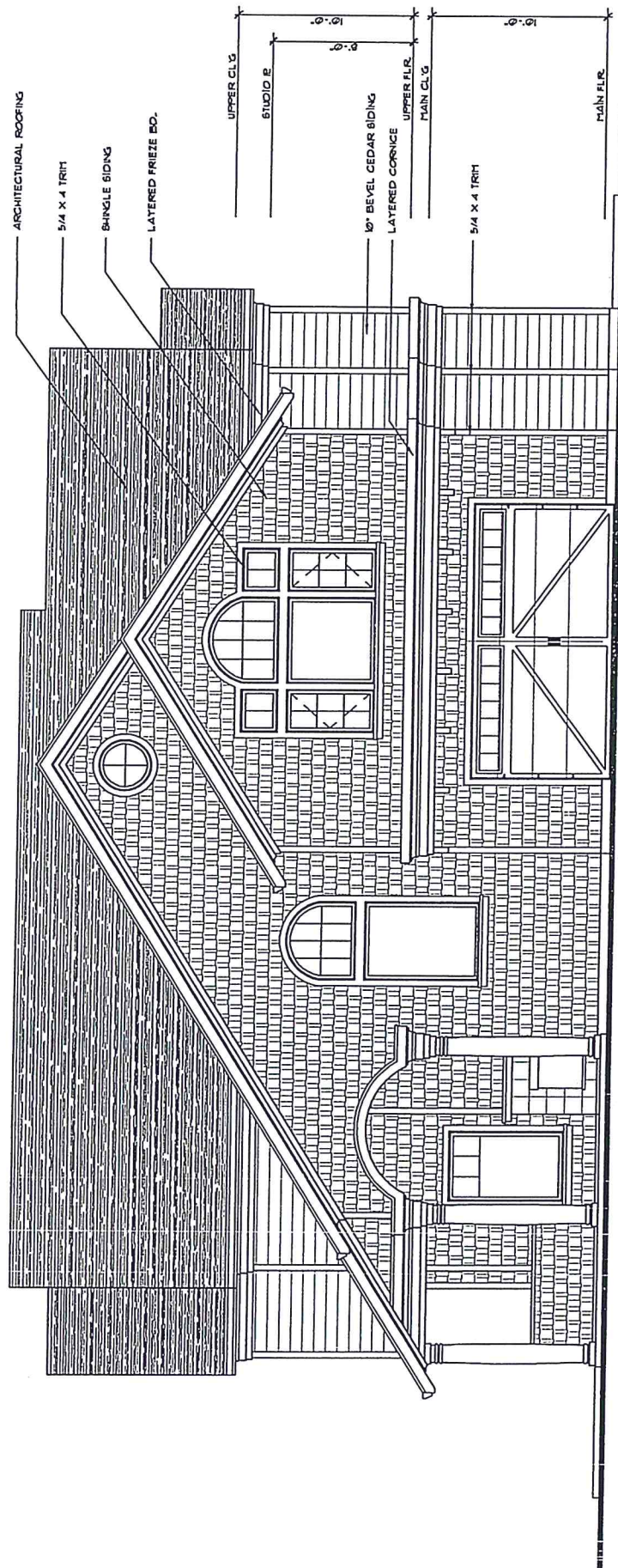




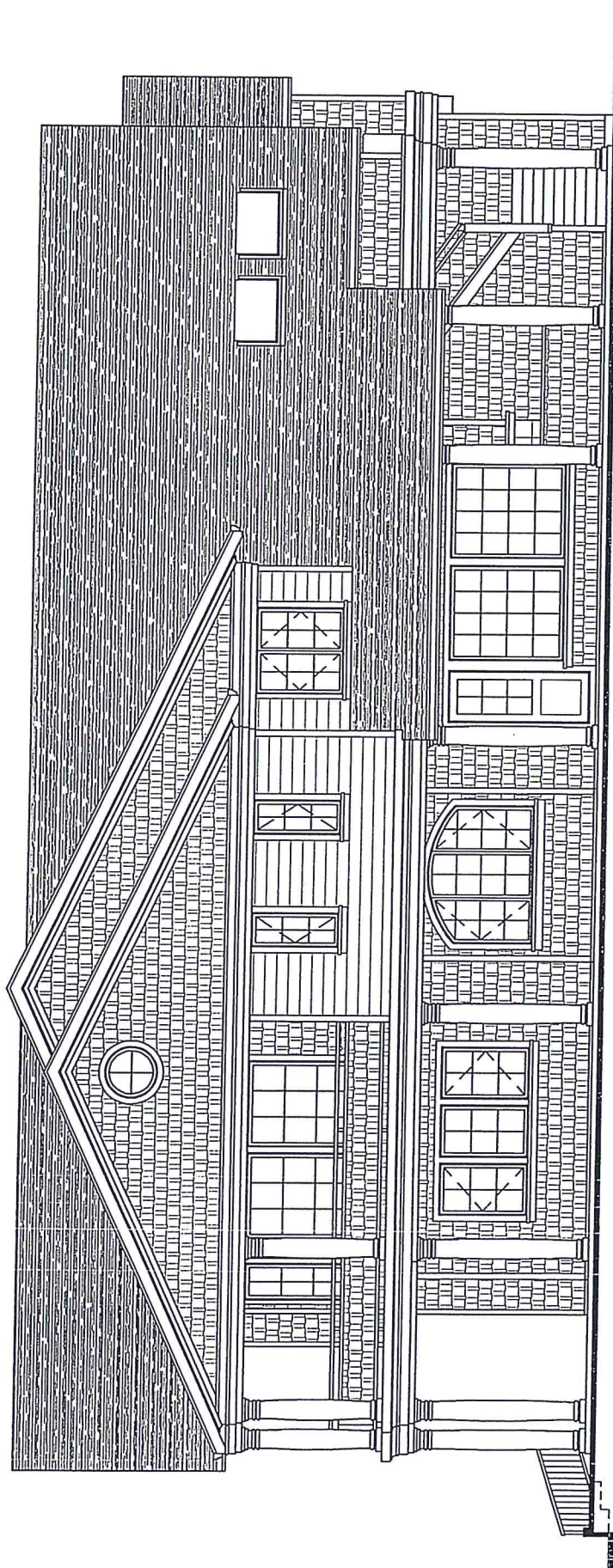
FRONT ELEVATION

35'-0" MAXIMUM

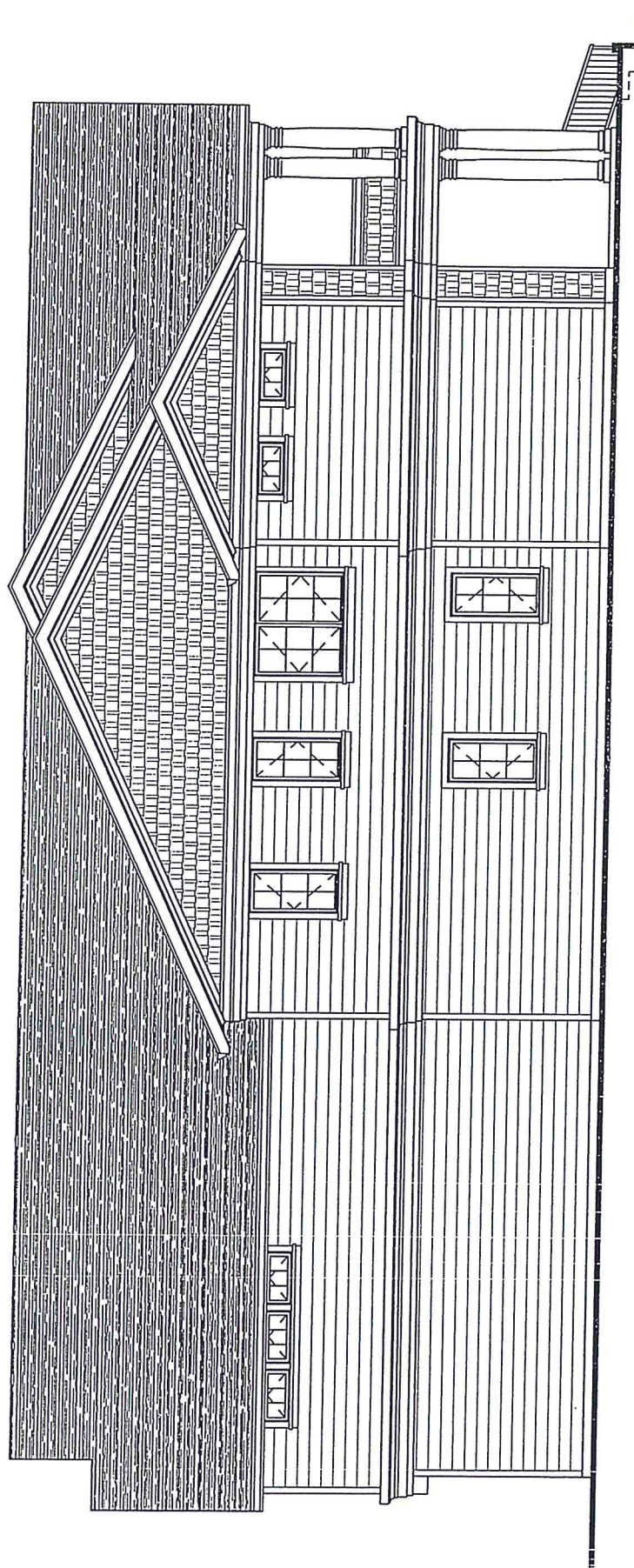
AVERAGE F.L. GRADE



REAR ELEVATION

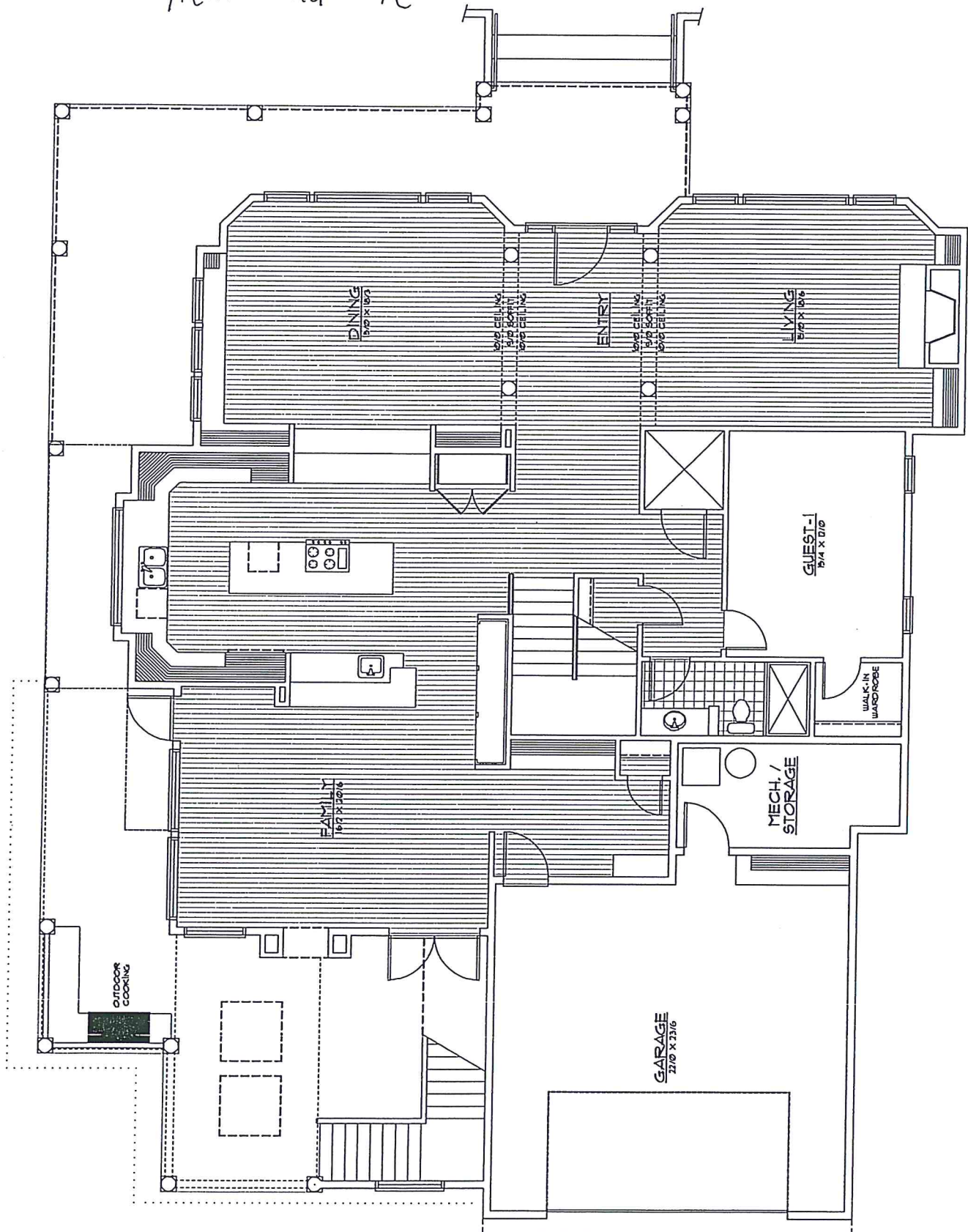


RIGHT ELEVATION



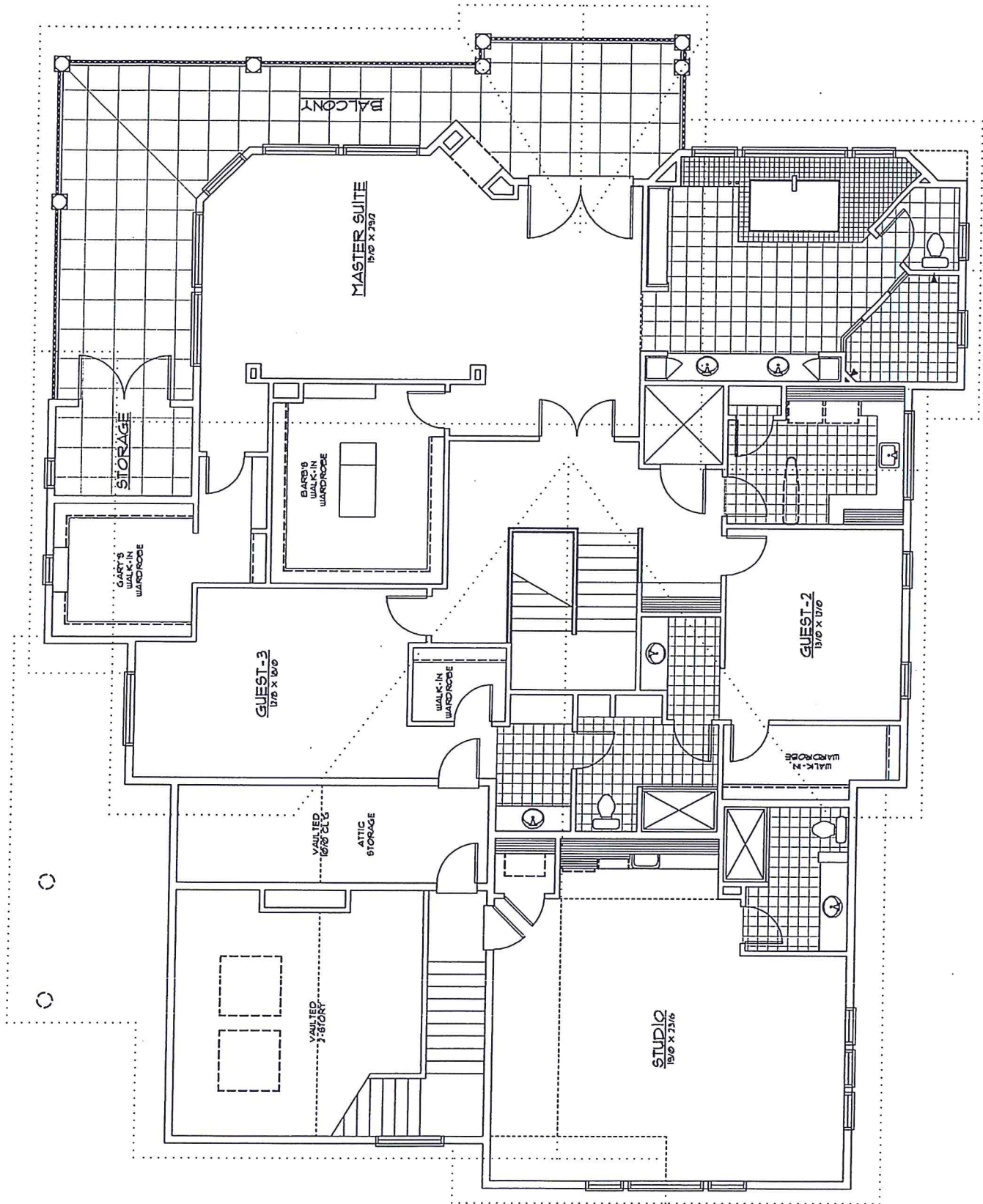
LEFT ELEVATION

Mill Pond Lane



Steam Whistle Way

Mill Pond Lane



Steam Whistle Way